

DISTRICTS

§27-500. R-1 Residential District

1. Purpose.

The purpose and intent of this District is to retain the character of existing single-family residential areas, to maintain the existing low residential density, and to encourage the preservation of permanent open space by providing appropriate standards, to exclude activities incompatible with development.

2. Permitted Uses.

A. Uses Permitted by Right

- A6 Forestry/Timber Harvesting
- B1 Single-Family Detached Dwelling
- C1 Place of Worship
- C11 Municipal Building
- J1 Home Occupation
- J2 Residential Accessory Building, Structure, or Use
- J6 Off-Street Parking
- J7 Signs
- J8 Parking or Storage of Recreational Vehicles and Other Recreational Equipment
- J9 No-Impact Home Based Business
- J12 Temporary Community Event
- J13 Keeping of Animals
- J14 Solar Energy System
- J15 Microwave or Satellite Dish Antenna
- J17 School Bus or Bus Shelter

B. Uses Permitted by Conditional Use

- B7 Dwelling in Combination
- C4 Day Care Center
- C12 Emergency Services
- J3 Temporary Structure or Use
- J4 Nonresidential Accessory Building, Structure, or Use

3. Area and Dimensional Requirements.

All uses shall comply with the area and dimensional requirements listed in this section, unless a greater area or dimensional requirement is stated in Section 406, Use Regulations, for the specific use, in which case the requirements of Section 406 shall apply.

A. Single-Family Detached Dwelling

Minimum Lot Area	10,000 square feet
Minimum Lot Width	75 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	30 percent
Minimum Yard Requirements:	
Front	30 feet
Rear	25 feet
Single Side	10 feet
Aggregate Side	25 feet

B. Other Permitted Uses

Minimum Lot Area	10,000 square feet
Minimum Lot Width	75 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	30 percent
Minimum Yard Requirements:	
Front	30 feet
Rear	25 feet
Single Side	10 feet
Aggregate Side	25 feet

§27-501. R-2 Residential District

1. Purpose.

The purpose and intent of this District is to retain the character and to maintain the existing medium residential density areas where single-family homes are permitted, as well as encourage efficient land development while providing for the preservation of permanent open space.

2. Permitted Uses.

A. Uses Permitted by Right

A6	Forestry/Timber Harvesting
B1	Single-Family Detached Dwelling
B2	Two-Family Dwelling
B6	Residential Conversion
C2	School
C11	Municipal Building
E12	Bed and Breakfast*
J1	Home Occupation
J2	Residential Accessory Building, Structure, or Use
J6	Off-Street Parking
J7	Signs
J8	Parking or Storage of Recreational Vehicles and Other Recreational Equipment
J9	No-Impact Home Based Business
J12	Temporary Community Event
J13	Keeping of Animals
J14	Solar Energy System
J15	Microwave or Satellite Dish Antenna
J17	School Bus or Bus Shelter

*Note: Only permitted within the H Historical District in accordance with §27-406.5.L.

B. Uses Permitted by Conditional Use

B7	Dwelling in Combination
C4	Day Care Center
C7	Private Club
C12	Emergency Services
J3	Temporary Structure or Use
J4	Nonresidential Accessory Building, Structure, or Use

3. Area and Dimensional Requirements.

All uses shall comply with the area and dimensional requirements listed in this section, unless a greater area or dimensional requirement is stated in Section 406,

Use Regulations, for the specific use, in which case the requirements of Section 406 shall apply.

A. Single-Family Detached Dwelling

Minimum Lot Area	4,000 square feet
Minimum Lot Width	50 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	25 feet
Single Side	6 feet
Aggregate Side	16 feet

B. Two-Family Dwelling

Minimum Lot Area	4,000 square feet ¹
Minimum Lot Width	50 feet ²
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	25 feet
Single Side	6 feet ³
Aggregate Side	16 feet

C. Other permitted uses

Minimum Lot Area	4,000 square feet
Minimum Lot Width	50 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	50 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	25 feet
Single Side	10 feet
Aggregate Side	20 feet

¹ Lot area per dwelling unit.

² Lot width per dwelling unit.

³ Applies to the single side yard in the case of dwelling units separated by a solid ceiling and floor extending from exterior wall to exterior wall (commonly known as a twin dwelling unit).

§27-502. R-3 Residential District

1. Purpose.

The purpose and intent of this District is to provide appropriate areas for alternative forms of residential development in order to broaden the Borough's housing base and, therefore, serve a greater variety of housing needs, to provide reasonable standards to prevent overcrowding of land, to regulate the density of population, to avoid undue congestion in the streets.

2. Permitted Uses.

A. Uses Permitted by Right

A1	Agricultural Use
A4	Nursery
A5	Agricultural Retail
A6	Forestry/Timber Harvesting
A7	Accessory Farm Dwelling
B3	Single-Family Detached Cluster
B6	Residential Conversion
C1	Place of Worship
C2	School
C3	Cultural Facility
C5	Public Recreation Facility
C11	Municipal Building
E12	Bed and Breakfast*
J1	Home Occupation
J2	Residential Accessory Building, Structure, or Use
J6	Off-Street Parking
J7	Signs
J8	Parking or Storage of Recreational Vehicles and Other Recreational Equipment
J9	No-Impact Home Based Business
J12	Temporary Community Event
J13	Keeping of Animals
J14	Solar Energy System
J15	Microwave or Satellite Dish Antenna
J17	School Bus or Bus Shelter

*Note: Only permitted within the H Historical District in accordance with §27-406.5.L.

B. Uses Permitted by Conditional Use

B4	Traditional Neighborhood Development
B7	Dwelling in Combination
C4	Day Care Center
C6	Private Recreation Facility

C8	Nursing Home
C12	Emergency Services
J3	Temporary Structure or Use
J4	Nonresidential Accessory Building, Structure, or Use

3. **Area and Dimensional Requirements.**

All uses shall comply with the area and dimensional requirements listed in this section, unless a greater area or dimensional requirement is stated in Section 406, Use Regulations, for the specific use, in which case the requirements of Section 406 shall apply.

A. Single-Family Detached Cluster⁴

Minimum Lot Area	7,000 sq. ft.
Minimum Lot Width at Building Line	60 feet
Maximum Impervious Surface	30%
Maximum Net Density	6.2 Du/AC
Minimum Open Space Ratio	25%
Minimum Yards	
Front	30 feet
Sides (each)	10 feet
Rear	25 feet

B. Traditional Neighborhood Development

Minimum Site Area	5 acres
Maximum density of net buildable site area (per acre)	7.5 units
Minimum lot area	
Single-family detached dwelling	3,000 sf
Two-family dwelling	2,000 sf / du
Townhouse	2,000 sf / du
Multifamily dwelling	2,000 sf / du
Minimum Open Space ⁵	30% of site
Maximum impervious ratio per site	60%
Maximum impervious per lot	70%
Maximum lot width per dwelling at building setback line	25 feet
Maximum building height	
Any principal residential dwelling	35 feet
Any residential accessory structure	20 feet
Minimum yards (setback)	
Front yard ⁶	4 feet
Side – Single-family detached dwellings ⁷	10 feet

⁴ Refer to §27-406.2.C for additional requirements.

⁵ The amount of required open space may be reduced as provided in §27-406.2.D.(4).

⁶ Front facades of residential structures in a traditional neighborhood development shall be close to the sidewalks. The front façade of any principal residence shall be no further than ten (10) feet from the area designated for the sidewalk.

Side – Two-family; multifamily; townhouse units only)	10 feet (at end
Rear	20 feet

C. Other permitted uses

Minimum Lot Area	10,000 square feet
Minimum Lot Width	75 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	30 feet
Rear	25 feet
Single Side	10 feet
Aggregate Side	25 feet

⁷ One (1) side yard setback for a single-family detached dwelling may be reduced to five (5) feet provided that the side yard setback for the adjacent dwelling is ten (10) feet.

§27-503. LIC Limited Industrial Conservation District

1. Purpose.

The purpose and intent of this District is to permit low-intensity uses in areas with significant natural constraints, primarily wetlands, floodplains and alluvial soils. Specific standards and requirements will permit reasonable use while protecting the natural features of the District.

2. Permitted Uses.

A. Uses Permitted by Right

A1	Agricultural Use
A4	Nursery
A5	Agricultural Retail
A6	Forestry/Timber Harvesting
A7	Accessory Farm Dwelling
J6	Off-Street Parking
J7	Signs
J9	No-Impact Home Based Business
J12	Temporary Community Event
J13	Keeping of Animals
J14	Solar Energy System
J15	Microwave or Satellite Dish Antenna
J17	School Bus or Bus Shelter

B. Uses Permitted by Conditional Use

A2	Kennel
A3	Riding Stable
C5	Public Recreation Facility
C6	Private Recreation Facility
G1	Public Transportation Facility
I4	Light Manufacturing
I5	Research
I6	Contractor's Services
J3	Temporary Structure or Use
J4	Nonresidential Accessory Building, Structure, or Use
J5	Outside Storage or Display

3. Area and Dimensional Requirements.

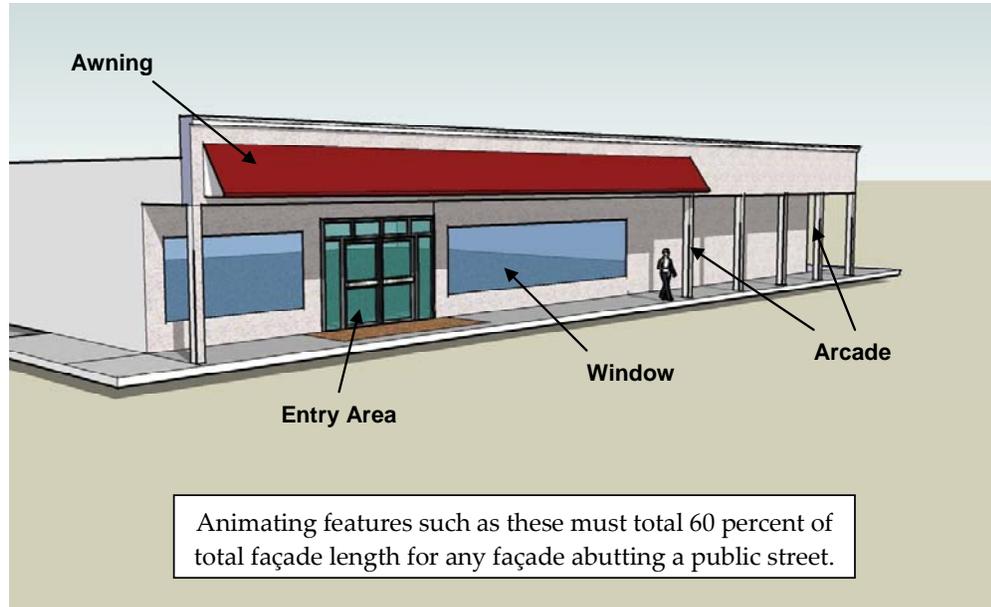
All uses shall comply with the area and dimensional requirements listed in this section, unless a greater area or dimensional requirement is stated in Section 406, Use Regulations, for the specific use, in which case the requirements of Section 406 shall apply.

A. All Uses

Minimum Lot Area	3 acres
Minimum Lot Width	100 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	25 percent
Minimum Yard Requirements:	
Front	50 feet
Rear	25 feet
Single Side	25 feet
Aggregate Side	25 feet

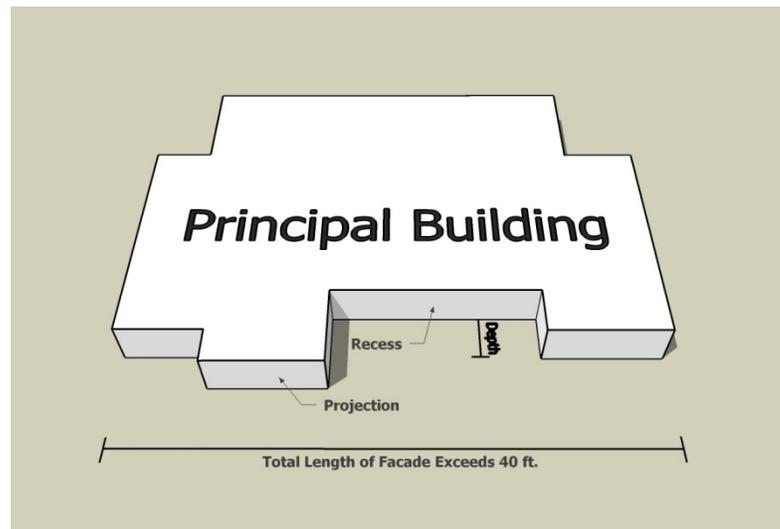
4. **Design Guidelines for Nonresidential Buildings.** The following design standards are applicable to all new nonresidential developments and additions/alterations to nonresidential buildings in the LIC District. These guidelines may be modified by Borough Council to take into account the variety of buildings in the LIC District and to allow flexibility.
- A. Exterior building materials for facades that face or front public streets or are viewable from customer parking areas shall meet the requirements found in (1) and (2) below:
- (1) Exterior building materials shall be brick, wood, stone, tile, tinted and textured concrete masonry units, stucco or other high quality materials.
 - (2) Exterior building materials shall not include corrugated metal, unfinished smooth face concrete block or tilt-up concrete panels, pre-fabricated steel panels, and vinyl siding.
- B. Building facades that face or front public streets shall comply with two of the three criteria listed below. Building facades that do not face or front public streets shall comply with either criteria (2) or (3) below.
- (1) Ground floor facades shall have arcades, display windows, entry areas, awnings or other such features along no less than sixty percent (60%) of their horizontal length.

Figure 1. Animating Features



- (2) Facades greater than forty (40) feet in length, measured horizontally, shall incorporate wall plan projections or recesses having a depth of at least three percent (3%) of the length of the façade extending at least twenty (20%) of the length of the façade. No uninterrupted length of any façade shall exceed forty (40) horizontal feet.

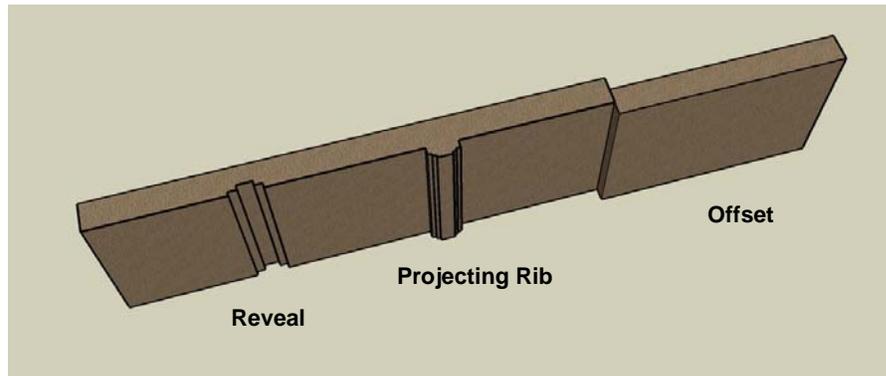
Figure 2. Principal Building



- (3) Facades shall contain a repeating pattern that shall include no less than three of the elements listed below. At least one of elements (a), (b) or (c) below shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.

- (a) Color change
- (b) Texture change
- (c) Material change
- (d) Expression of architectural or structural bays through a change in plane no less than twelve (12) inches in width, such as an offset, reveal or projecting rib.

Figure 3. Structural Bay Layout



C. Roof design shall incorporate the following design features:

- (1) Flat roof designs shall be constructed with parapets to screen Heating, Ventilation, and Air Conditioning (HVAC) and other roof mounted mechanical equipment from public view. Such parapets shall not exceed one third (1/3) of the height of the supporting wall and shall be constructed with a three dimensional cornice treatment.
- (2) Sloping roof designs shall be constructed to screen HVAC and other roof mounted mechanical equipment from public view. Sloping roof designs must use at least one (1) of the following design features:
 - (a) Three (3) or more roof slope planes.
 - (b) Overhanging eaves or canopy projections which extend no fewer than three (3) feet past the supporting walls.
- (3) The HVAC and other roof mounted mechanical equipment shall be installed and screened in a manner that mitigates the sound level of such equipment.

D. The use shall be designed to safely accommodate pedestrian and vehicular traffic. Pedestrian circulation shall be provided throughout the site, and pedestrian connections shall be provided to adjacent sidewalks.

- E. Loading docks shall be shielded from view and shall not be visible from adjacent residential districts or from public streets.
 - F. All loading docks, trash containment areas and outside work areas shall be constructed in such a manner as to promote sound abatement. No trash pick-up may occur between 9:00 PM and 6:00 AM when this use abuts a residential property.
 - G. Unregistered or unlicensed tractor trailers, cargo boxes, shipping containers, or other vehicles or structures meant to be transportable shall not be permitted to be used as accessory buildings or structures for storage.
5. Buffer Yards. A 10-foot buffer yard shall be placed along the perimeter of all uses, unless a greater width is otherwise required by this Chapter, in accordance with §27-717.9 of this Chapter.

§27-504. C Commercial District

1. Purpose.

The purpose and intent of this District is to provide for office, retail, personal service, and business uses; to meet appropriate circulation and parking needs; and to provide for public convenience.

2. Permitted Uses.

A. Uses Permitted by Right

- A6 Forestry/Timber Harvesting
- B1 Single-Family Detached Dwelling
- B2 Two-Family Dwelling
- B6 Residential Conversion
- B7 Dwelling in Combination
- C9 Medical Center/Hospital
- C10 Wellness Center
- C11 Municipal Building
- C12 Emergency Services
- D1 Professional Service
- D2 Medical Office
- D3 Business Service
- D4 Government Office
- D6 Commercial School
- E1 Downtown Retail or Service Business
- E4 Repair Shop
- E5 Restaurant
- E8 Mortuary or Funeral Home
- E10 Hotel, Motel, or Inn
- E12 Bed and Breakfast
- E13 Convenience Store
- F1 Gasoline Service Station
- F4 Car Wash
- H1 Communication Facility
- H2 Utilities
- J1 Home Occupation
- J2 Residential Accessory Building, Structure, or Use
- J4 Nonresidential Accessory Building, Structure, or Use
- J5 Outside Storage or Display
- J6 Off-Street Parking
- J7 Signs
- J8 Parking or Storage of Recreational Vehicles and Other Recreational Equipment
- J9 No-Impact Home Based Business
- J10 Outdoor Eating Accessory to a Restaurant
- J12 Temporary Community Event

- J13 Keeping of Animals
- J14 Solar Energy System
- J15 Microwave or Satellite Dish Antenna
- J16 Vending Machines
- J17 School Bus or Bus Shelter

B. Uses Permitted by Conditional Use

- B5 Rooming House
- B8 Mobile Home Park
- C4 Day Care Center
- C7 Private Club
- E7 Tavern
- E9 Commercial Entertainment, Recreational, or Sports Facility
- E11 Vehicle Sales
- H3 Telecommunications Antenna
- H4 Telecommunications Equipment Building
- H5 Telecommunications Tower
- J3 Temporary Structure or Use
- J18 Helistop

3. Area and Dimensional Requirements.

All uses shall comply with the area and dimensional requirements listed in this section, unless a greater area or dimensional requirement is stated in Section 406, Use Regulations, for the specific use, in which case the requirements of Section 406 shall apply.

A. Single-Family Detached Dwelling

Minimum Lot Area	4,000 square feet
Minimum Lot Width	35 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	20 feet
Single Side	5 feet
Aggregate Side	10 feet

B. Two-Family Dwelling

Minimum Lot Area	4,000 square feet ⁸
Minimum Lot Width	35 feet ⁹
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet

⁸ Lot area per dwelling unit.

⁹ Lot width per dwelling unit.

Rear	20 feet
Single Side	5 feet ¹⁰
Aggregate Side	10 feet

C. Other Permitted Uses

Minimum Lot Area	4,000 square feet
Minimum Lot Width	35 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	20 feet
Single Side	5 feet
Aggregate Side	10 feet

¹⁰ Applies to the single side yard in the case of dwelling units separated by a solid ceiling and floor extending from exterior wall to exterior wall (commonly known as a twin dwelling unit).

§27-505. I Industrial District

1. Purpose.

The purpose and intent of this District is to provide the continuation and reasonable expansion of existing industries and the establishment of new industries within the existing industrial area. Specific standards will help insure desirable and attractive industrial development which will be compatible with adjacent non-industrial uses.

2. Permitted Uses.

A. Uses Permitted by Right

A6	Forestry/Timber Harvesting
C9	Medical Center/Hospital
C10	Wellness Center
C11	Municipal Building
C12	Emergency Services
D1	Professional Service
D2	Medical Office
D3	Business Service
D4	Government Office
D5	Veterinary Office
D6	Commercial School
E1	Downtown Retail or Service Business
E4	Repair Shop
E9	Commercial Recreational or Sports Facility
E10	Hotel, Motel, or Inn
E11	Vehicle Sales
E13	Convenience Store
F1	Gasoline Service Station
F2	Motor Vehicle Service Center/Repair Shop
F3	Salvage
F4	Car Wash
H1	Communication Facility
H2	Utilities
I1	Bulk Commercial
I2	Wholesale Trade
I3	Warehousing and Distribution
I4	Light Manufacturing
I5	Research
I6	Contractor's Services
J1	Home Occupation
J2	Residential Accessory Building, Structure, or Use
J4	Nonresidential Accessory Building, Structure, or Use
J5	Outside Storage or Display
J6	Off-Street Parking

- J7 Signs
- J8 Parking or Storage of Recreational Vehicles and Other Recreational Equipment
- J9 No-Impact Home Based Business
- J12 Temporary Community Event
- J13 Keeping of Animals
- J14 Solar Energy System
- J15 Microwave or Satellite Dish Antenna
- J16 Vending Machines
- J17 School Bus or Bus Shelter

B. Uses Permitted by Conditional Use

- B7 Dwelling in Combination
- B8 Mobile Home Park
- C7 Private Club
- E2 Large Retail or Service Business
- E3 Limited Personal Service
- E6 Restaurant with Drive-Through or Take-Out
- E14 Sale of Fireworks
- E15 Adult Commercial Use
- H3 Telecommunications Antenna*
- H4 Telecommunications Equipment Building*
- H5 Telecommunications Tower*
- J3 Temporary Structure or Use
- J11 Accessory Drive-Through Facility
- J18 Helistop

**Note: These uses (H3, H4, and H5) are not permitted in the H Historical District in accordance with §27-406.*

3. Area and Dimensional Requirements.

All uses shall comply with the area and dimensional requirements listed in this section, unless a greater area or dimensional requirement is stated in Section 406, Use Regulations, for the specific use, in which case the requirements of Section 406 shall apply.

A. Single-Family Detached Dwelling

Minimum Lot Area	4,000 square feet
Minimum Lot Width	35 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	20 feet
Single Side	5 feet
Aggregate Side	10 feet

B. Two-Family Dwelling

Minimum Lot Area	4,000 square feet ¹¹
Minimum Lot Width	35 feet ¹²
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	40 percent
Minimum Yard Requirements:	
Front	20 feet
Rear	20 feet
Single Side	5 feet ¹³
Aggregate Side	10

C. Other Permitted Uses

Minimum Lot Area	10,000 square feet
Minimum Lot Width	70 feet
Maximum Building Height	35 feet
Maximum Impervious Surface Ratio	70 percent
Minimum Yard Requirements:	
Front	30 feet
Rear	25 feet
Single Side	10 feet
Aggregate Side	25 feet

4. **Design Guidelines for Nonresidential Buildings.** The following design standards are applicable to all new nonresidential developments and additions/alterations to nonresidential buildings in the I Industrial District. These guidelines may be modified by Borough Council to take into account the variety of buildings in the I Industrial District and to allow flexibility.

A. Exterior building materials for facades that face or front public streets or are viewable from customer parking areas shall meet the requirements found in (1) and (2) below:

(1) Exterior building materials shall be brick, wood, stone, tile, tinted and textured concrete masonry units, stucco or other high quality materials.

(2) Exterior building materials shall not include corrugated metal, unfinished smooth face concrete block or tilt-up concrete panels, pre-fabricated steel panels, and vinyl siding.

¹¹ Lot area per dwelling unit.

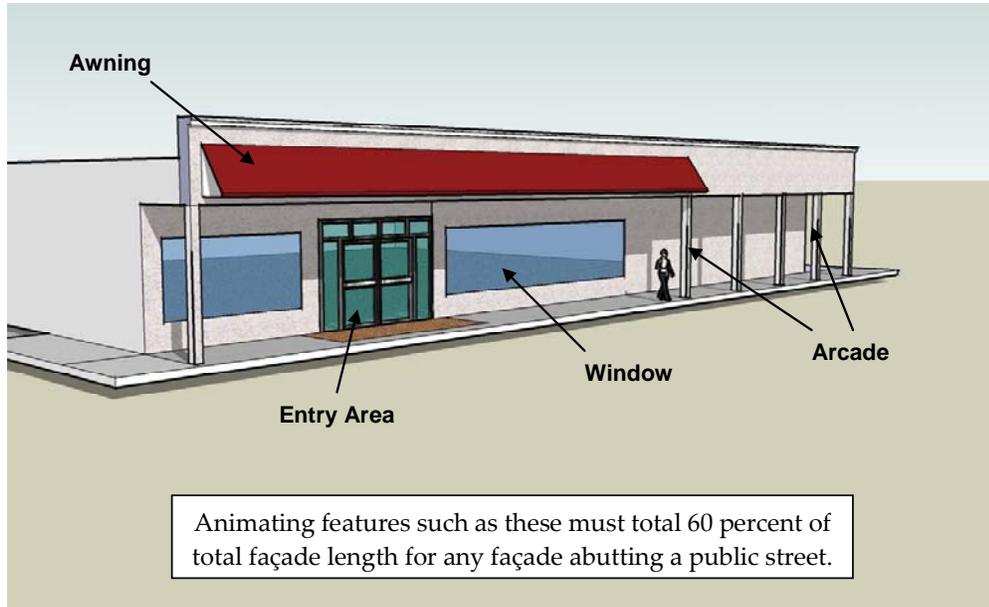
¹² Lot width per dwelling unit.

¹³ Applies to the single side yard in the case of dwelling units separated by a solid ceiling and floor extending from exterior wall to exterior wall (commonly known as a twin dwelling unit).

B. Building facades that face or front public streets shall comply with two of the three criteria listed below. Building facades that do not face or front public streets shall comply with either criteria (2) or (3) below.

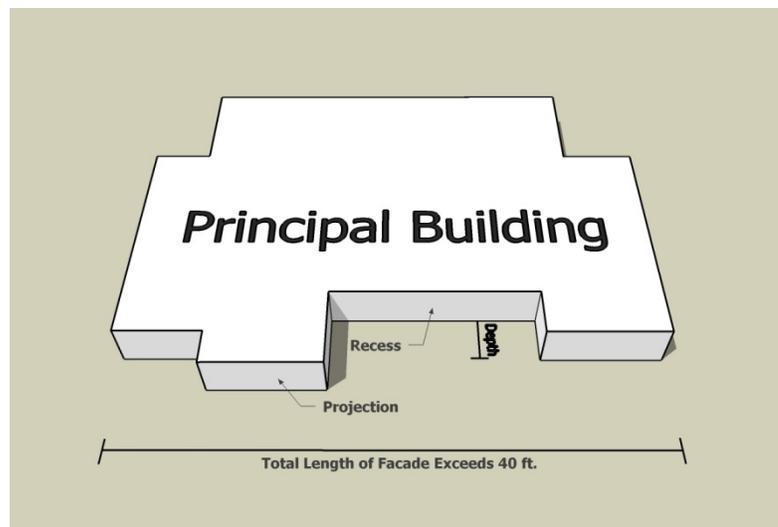
(1) Ground floor facades shall have arcades, display windows, entry areas, awnings or other such features along no less than sixty percent (60%) of their horizontal length.

Figure 1. Animating Features



(2) Facades greater than forty (40) feet in length, measured horizontally, shall incorporate wall plan projections or recesses having a depth of at least three percent (3%) of the length of the façade extending at least twenty (20%) of the length of the façade. No uninterrupted length of any façade shall exceed forty (40) horizontal feet.

Figure 2. Principal Building



(3) Facades shall contain a repeating pattern that shall include no less than three of the elements listed below. At least one of elements (a), (b) or (c) below shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.

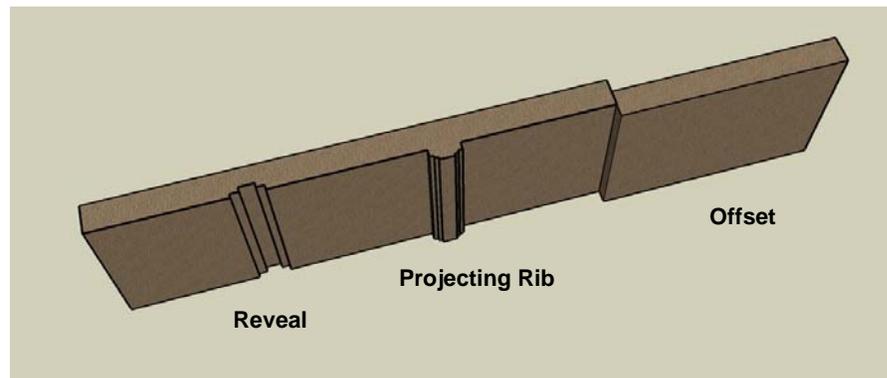
(a) Color change

(b) Texture change

(c) Material change

(d) Expression of architectural or structural bays through a change in plane no less than twelve (12) inches in width, such as an offset, reveal or projecting rib.

Figure 3. Structural Bay Layout



C. Roof design shall incorporate the following design features:

(1) Flat roof designs shall be constructed with parapets to screen Heating, Ventilation, and Air Conditioning (HVAC) and other roof mounted mechanical equipment from public view. Such parapets shall not exceed one third ($1/3$) of the height of the supporting wall and shall be constructed with a three dimensional cornice treatment.

(2) Sloping roof designs shall be constructed to screen HVAC and other roof mounted mechanical equipment from public view. Sloping roof designs must use at least one (1) of the following design features:

(a) Three (3) or more roof slope planes.

(b) Overhanging eaves or canopy projections which extend no fewer than three (3) feet past the supporting walls.

- (3) The HVAC and other roof mounted mechanical equipment shall be installed and screened in a manner that mitigates the sound level of such equipment.
 - E. The use shall be designed to safely accommodate pedestrian and vehicular traffic. Pedestrian circulation shall be provided throughout the site, and pedestrian connections shall be provided to adjacent sidewalks.
 - E. Loading docks shall be shielded from view and shall not be visible from adjacent residential districts or from public streets.
 - F. All loading docks, trash containment areas and outside work areas shall be constructed in such a manner as to promote sound abatement. No trash pick-up may occur between 9:00 PM and 6:00 AM when this use abuts a residential property.
 - G. Unregistered or unlicensed tractor trailers, cargo boxes, shipping containers, or other vehicles or structures meant to be transportable shall not be permitted to be used as accessory buildings or structures for storage.
5. Buffer Yards. A 10-foot buffer yard shall be placed along the perimeter of all uses, unless a greater width is otherwise required by this Chapter, in accordance with §27-717.9 of this Chapter.

§27-506. H Historical District

1. Purpose.

The purpose of the H Historical District is to protect those historical areas in Hulmeville which have a distinctive character recalling the rich architectural and historic heritage of the Borough.

2. Overlay District Concept.

The H Historical District is an “overlay” district, i.e., the permitted uses and area and bulk regulations are determined by the underlying zoning district. The H Historical District provides additional requirements to these zoning district regulations. These additional requirements are found in Chapter 4 of the Hulmeville Borough Code of Ordinances, Part 1 Hulmeville Historical District, as last amended. All applications for zoning and building permits in the H Historical District must be submitted to the Board of Historical and Architectural Review for review and comment in accordance with the rules, regulations and procedures in Chapter 4 of the Hulmeville Borough Code of Ordinances, Part 1 Hulmeville Historical District.